

Accessory Apartment Building Permit Application Guide

A building permit is required in the Town of Orangeville for creating an Accessory Apartment in an existing single-family dwelling, provided it meets the zoning requirements. If you are new to the process or are uncertain of the Town of Orangeville's permit application process/requirements, please consult our website at <http://www.orangeville.ca> or contact the Planning and Development Department - Building Division at (519) 941-0440 ext. 2228. This guide explains the requirements for submitting a building permit application for an Accessory Apartment in greater detail.

Zoning Requirements:

Under the Zoning By-law, an Accessory Apartment must:

- Be located in a single-family dwelling serviced by municipal water and wastewater services,
- Provide 3 legal parking spaces on the property which measure 2.7 m x 5.5 m in size,
- Entrance to Apartment is through a side or rear separate entrance

Please be aware that in certain zones there is a maximum driveway width which is based on lot frontage of the property. This may preclude the ability to meet the required parking.

General Zoning By-law requirements for your property can be obtained by contacting the Planning Department at (519) 941-0440 ext. 2251.

Public Works Requirements:

Please indicate the location of any exterior entrances to the apartment. A sample plan is attached to show changes to the grading including the location of downspouts. If the intent is to maintain the existing drainage and grading scheme, please indicate that "Grades along lot lines to remain unchanged" and "Grading scheme to remain unchanged". Any changes to grading are to be shown on the "sample drawing-site plan drawing."

Please indicate whether there will be any changes to internal and external water and sanitary servicing. Note that all domestic water must be plumbed in such a way that it passes through the existing water meter. Any changes must be shown and approved.

Any proposed changes to the driveway width and or cuts to the curb on the road. These changes must be reviewed and approved by Public Works to ensure minimum offsets from trees, light standards, traffic and other municipal signs and other above and below ground utilities. If there are no proposed changes to the driveway width and existing curb, please indicate that on the plans.

General Public Works requirements for your property may be obtained by contacting the Public Works Department at 519-941-0440 ext. 2269.

Building Permit Application Requirements:

Building permit applications are broken down into 2 major requirements.

- Permit Application Forms
- Construction Drawings

Complete building permit applications are accepted in person on the lower level of Town Hall at 87 Broadway. Building permit fees are payable by cash, cheque or debit at the time picking up your permit. Building permit fees include the review of drawings and all required inspections.

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Permit Application Forms

1) Application for a Permit to Construct or Demolish

All sections of the form must be completed, including the full legal description (which can be found on your deed, tax assessment, survey, or is available from the public computer kiosk located on the main floor of Town Hall next to the Reception area).

2) Schedule 1 Designer Form

This form is required when someone other than an Architect or Licensed Professional Engineer is taking responsibility for the design of the Accessory Apartment. This person would be either:

- o the homeowner taking legal responsibility for the design, provided they understand and are willing to take responsibility for the applicable requirements of the Ontario Building Code, or
- o a registered designer with a Building Code Identification Number (BCIN) qualified in House or Small Buildings

Construction Drawings

All drawings must be submitted in black and white, and clearly legible. Drawings in pencil shall be photocopied prior to submission so that all information is clear and legible. All walls must be drawn, and drawings must clearly differentiate between existing and proposed construction. Every page of the drawings shall include the project address and the following designer information:

| | |
|------------------------------------|--|
| Homeowner design | - Printed name of homeowner, signature and date |
| Qualified BCIN design | - Printed name, individual/firm (if applicable) BCIN numbers, signature and date |
| Architect or Professional Engineer | - Architect's or Professional Engineer's seal with a signature and date |

The following construction drawings are required for an Accessory Apartment:

1) Site Plan

2) Existing Floor Layouts

3) Proposed Floor Layouts Sections and Wall/Ceiling/Fire Separation Construction Details

4) Elevations showing Accessory Apartment Entrance and Egress Window

See sample drawings attached.

Refer to the enclosed sample drawings for specific drawing requirements. Please include 2 copies of each required drawing. Additionally, if you are adding or enlarging a window or door, a framing cross section and elevation drawing will be required.

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Inspection Requirements

Typical Accessory Apartment inspections can include (depending on the scope of work):

- Framing
- Insulation & Air Barrier
- Underground Plumbing, Above Ground Plumbing and Final Plumbing
- Heating Rough-in and Final Heating
- Final Building

Inspections are booked by calling the Building Division at (519) 941-0440 ext. 2228.

Building Specific Design Requirements

| Requirements | Building Condition | | |
|--|---|--|---|
| | A Any Building | B ONLY Buildings 5 years or older | C ONLY Buildings 5 years or older with finished basement |
| Floor Fire Separation | | | |
| Permitted Floor Fire Resistance Rating (FRR) | 45 min (1 storey unit) or 1 hour (2 storey unit) | 30 min | 15 min |
| Permitted Floor Sound Rating (STC) | 50 STC | Min. 43 STC or min. 6" sound insulation | Existing may be acceptable |
| Wall Fire Separation | | | |
| Permitted Wall Fire Resistance Rating (FRR) | 45 min (1 storey unit) 1 hour (2 storey unit) | 30 min | 30 min |
| Permitted Door Fire Protection Rating (FPR) (Note: door requires a self-closing device) | 20 min (45 min wall) or 45 min (1 hour wall) | 20 min | 20 min |
| Permitted Wall Sound Rating (STC) | 50 STC | 43 STC or entire stud cavity filled with sound insulation | Existing may be acceptable |
| Supporting Structure | | | |
| Permitted Fire Resistance Rating (FRR) for load bearing walls, beams, and columns | 45 min (1 storey unit) or 1 hour (2 storey) | 30 min | 15 min |

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| | | | |
|---|--|---|--|
| | unit) | | |
| HVAC Systems | | | |
| Independent Heating Systems Required | Yes | No | |
| Duct type Smoke Detector Required | No | Yes – must be installed in supply or return air duct system and will completely turn off fuel and electrical supply to the heating system upon activation | |
| Smoke Alarms | | | |
| Applies to | Only the new accessory apartment | | Both the existing unit and new accessory apartment |
| Interconnection between dwelling units | Not Required | | Required |
| Required locations and general requirements | Smoke alarms are required on every floor level, in every bedroom, and in hallways serving a bedroom. All smoke alarms within a dwelling unit shall be interconnected and have a visual signaling component (strobe light). | | |

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Building Specific Design Requirements

| Requirements | Building Condition | | |
|-----------------------------------|---|--|---|
| | A Any Building | B Only Buildings 5 years or older | C Only Buildings 5 years or older with finished basement |
| Natural Light (Minimum) | | | |
| Living and Dining Rooms | 10% of area served | 5% of area served | |
| Bedrooms and other Finished Rooms | 5% of area served | 2.5% of area served | |
| Ceiling Height (Minimum) | | | |
| All Rooms | 6'-11" over entire floor 6'-5" under beam/duct | 6'-5" over all required room areas and any location normally used as a mean of egress | |

General Design Requirements

| Door Sizes (Minimum) | Minimum Width | Minimum Height |
|--|---------------|----------------|
| Dwelling Unit Entrance or Utility Room | 32" | 78" |
| Bedroom or Rooms not mentioned elsewhere | 30" | |
| Bathroom, Washroom, and Walk-in closets | 24" | |

| Room Sizes - Separate Spaces | Min. ft ² | ROOM SIZES - Combined | Min. ft ² |
|---------------------------------|----------------------------------|--|----------------------------|
| Living Room | 145 | Living Room (> 1 bedroom) | 145 |
| Dining Room | 75 | Living Room (1 bedroom) | 118 |
| Kitchen (> 1 bedroom) | 45 | Dining Room | 35 |
| Kitchen (1 Bedroom only) | 40 | Kitchen (> 1 bedroom) | 45 |
| Master Bedroom (with closet) | 95 | Kitchen (1 bedroom) | 40 |
| Master Bedroom (without closet) | 105 | Bedrooms | 45 |
| Other Bedroom (with closet) | 65 | | |
| Other Bedroom (without closet) | 75 | ROOM SIZES - Bachelor | Min. ft² |
| Bathroom | Sufficient space for fixtures | Living, Dining, Bedroom and Kitchen | 145 |

- Carbon monoxide alarms are required on all levels with a fuel burning appliance and adjacent to each sleeping area in a suite.
- Each unit shall have access to common laundry facilities or have connections within each unit for the connection of laundry appliances

Note: These design tips do not cover all of the requirements for accessory apartments. The person taking responsibility for the design should refer to the 2012 Ontario Building Code (updated to January 1, 2015) for a detailed listing off all requirements. The most current Building Code is available at <http://www.ontario.ca/laws/regulation/120332>

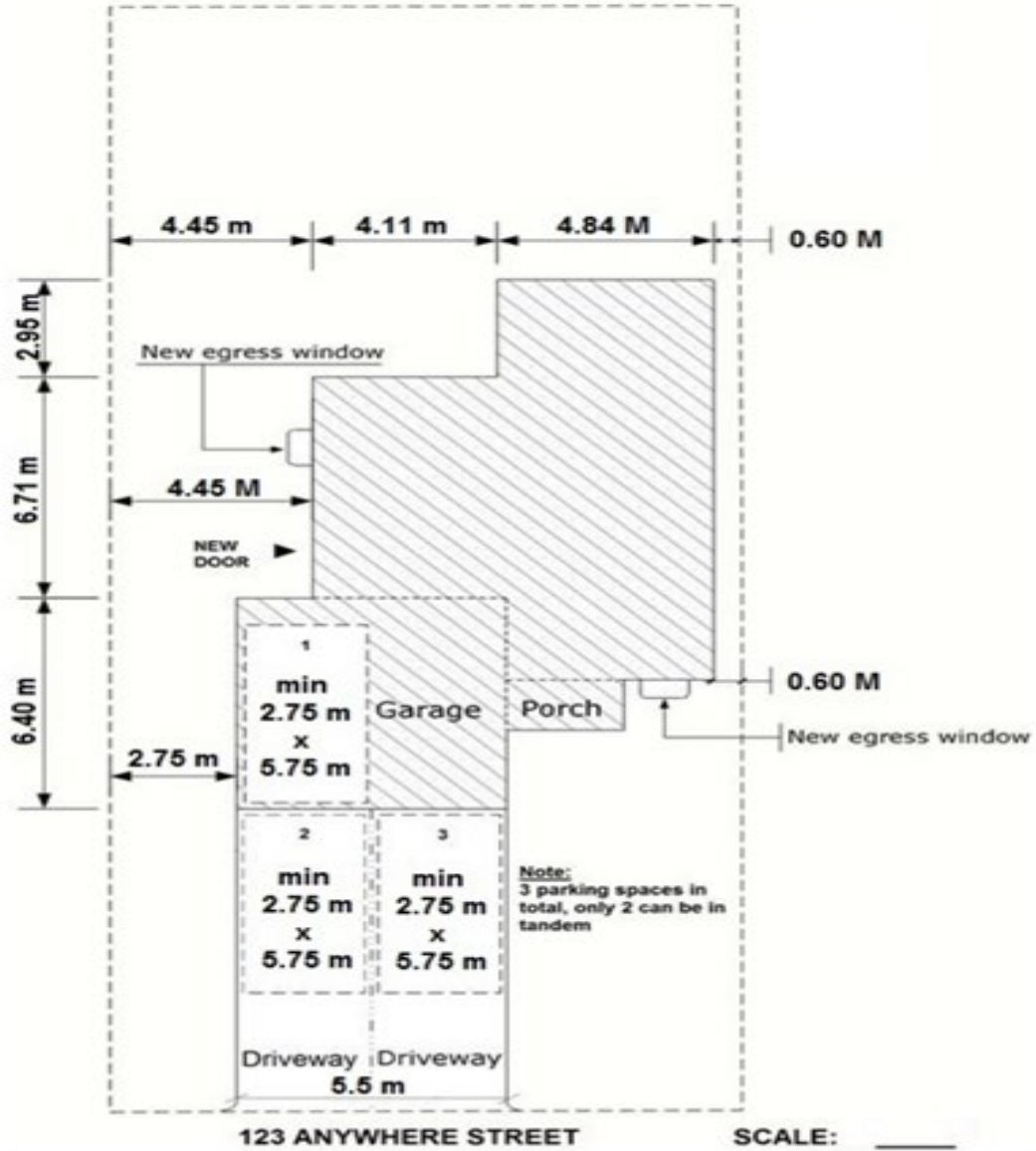
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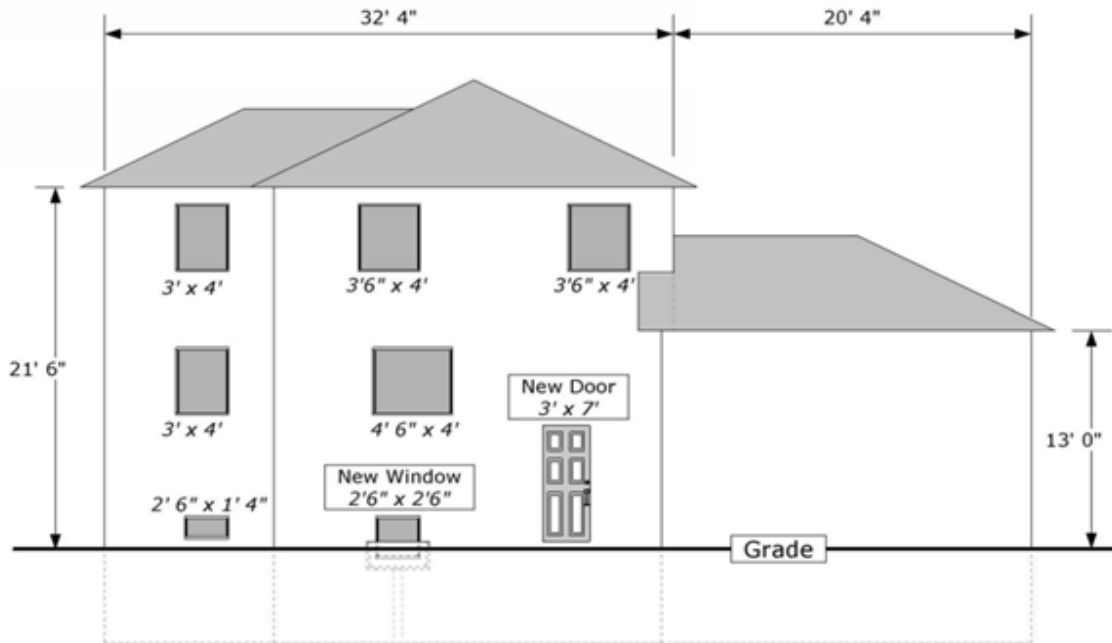
Sample Drawing – Site Plan



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Sample Drawing – Elevation



Sample Construction Notes and Symbols

Interior Non-Load Bearing Walls

- New 2 inch x 4 inch wood studs at 16 inch on center separated from concrete with sill gasket
- New ½ inch drywall on both sides
- Optional sound insulation

| | |
|--|------------------------|
| | Smoke alarm |
| | Carbon Monoxide Alarm |
| | Supply Air Outlet |
| | Return Air Inlet |
| | 3-way switch |
| | Fan vented to exterior |

| | |
|--|----------------|
| | Hot Water Tank |
| | Furnace |
| | Washer |
| | Dryer |
| | Stove |
| | Fridge |

| | |
|--|------------|
| | Dishwasher |
| | Toilet |
| | Bathtub |
| | Shower |
| | Sink |

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Sample Drawings – Existing Layout

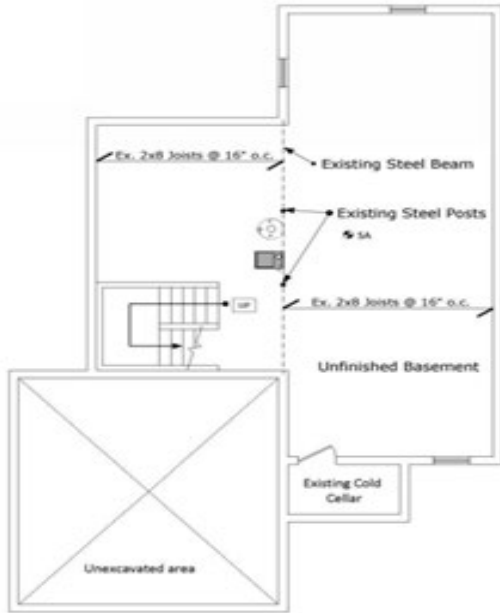


Figure 1 - Existing Basement Layout



Figure 2 - Existing Main Floor Layout Modified

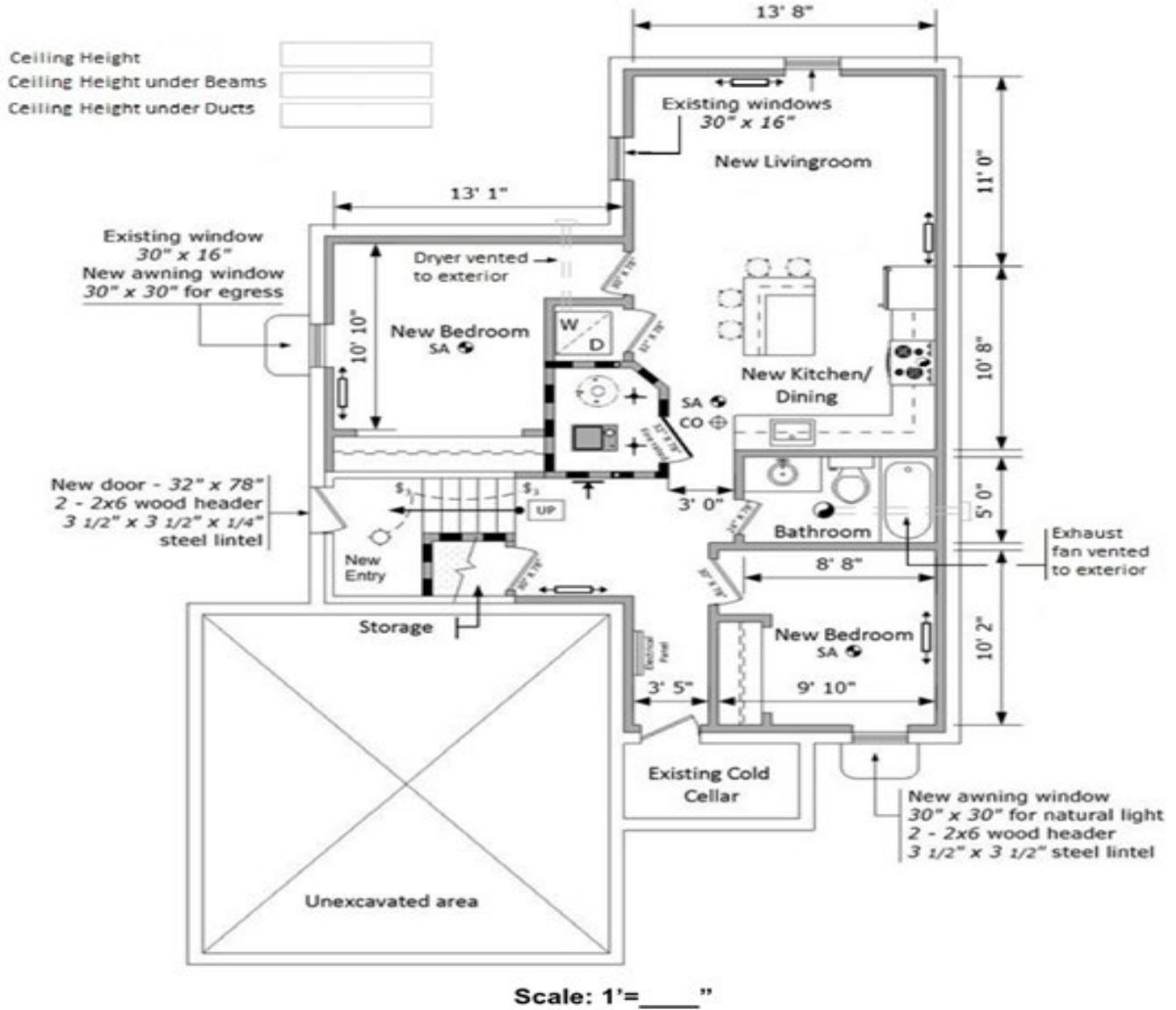


Figure 3 - Existing Second Floor Layout

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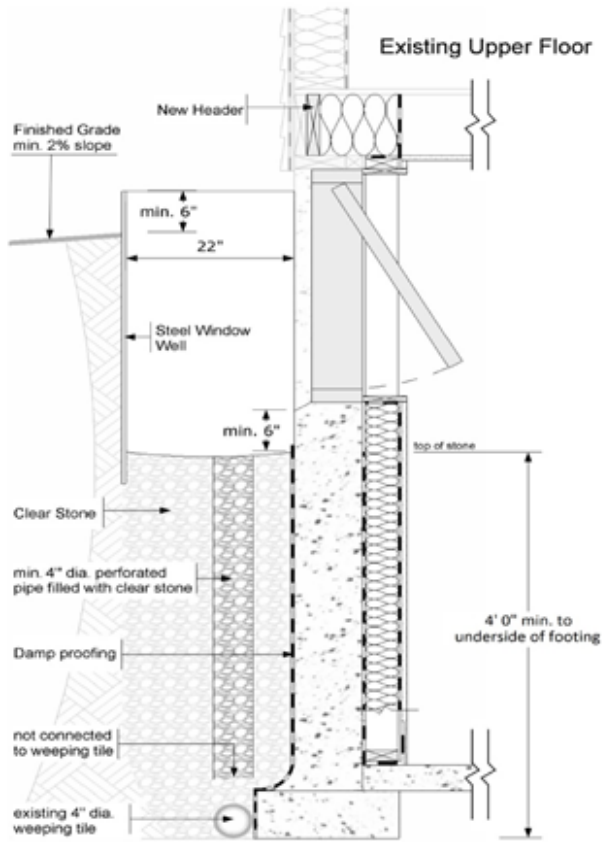
Sample Drawings – Accessory Apartment



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Egress Window Requirements



Left Diagram

- Egress window wells require a minimum 550mm (22") clearance in front of the window
- New or enlarged window openings wider than 1.2m (3'-11") or where the total width of all opening exceeds 25% of the foundation wall length are considered laterally unsupported and require an Engineer's stamped design to support the foundation wall
- Window wells require min 4" diameter perforated pipe that terminates 150mm (6") above weeping tile with clear gravel between to act as a filter

Lower Diagram

- Egress window requires minimum unobstructed clear opening of 0.35m² (3.8 ft²) with no dimension less than 380mm (15")
 - **Note:** clear opening includes only the window area operable from the inside without the use of keys, tools or special knowledge and without the removal of sashes or hardware (no lift out double sliders)



Note: Window manufacturer's specifications for the egress window must be submitted with the building permit application for verification of these requirements

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