

For more information:

Zoning Requirements:

Planning Division
planning@orangeville.ca
519-941-0440 x 2228
orangeville.ca/planning

Building Code and Permit Submissions:

Building Division
building@orangeville.ca
519-941-0440 x 2228

Fire Code Requirements:

Orangeville Fire Services
519-941-3083

Please note that while this guide has been updated to reflect recent changes to land use planning rules introduced under the provincial More Homes Built Faster Act, 2022, it may not accurately reflect all changes. Where there are any conflicts between the Planning Act and the Town's Zoning By-law regarding requirements for accessory dwelling units, the regulations of the Planning Act prevail to the extent of the conflict.

Residents should contact Town staff for confirmation about ADU requirements, and/or to verify whether an existing ADU has been established in compliance with By-law and code requirements.



Town of Orangeville Planning Division

Guide to Accessory Dwelling Units

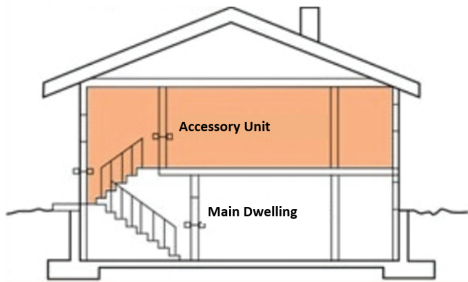
An Accessory Dwelling Unit (ADU) is an independent, self-contained dwelling unit that has its own kitchen, bathroom facilities and sleeping areas and is secondary, or subordinate to a primary dwelling.

An ADU can be located on a single-detached, semi-detached or townhouse property:

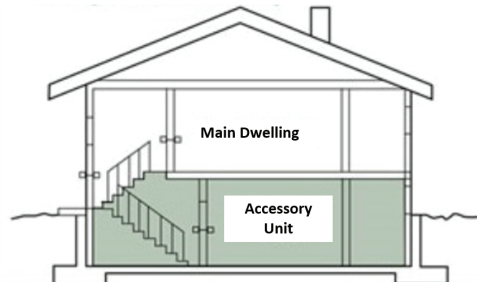
- within the primary residential building, as a basement apartment, upper-storey unit, exterior attached unit, etc.; and/or
- within a detached accessory building.

Up to 2 ADU's may be permitted on a lot, in addition to the main dwelling.

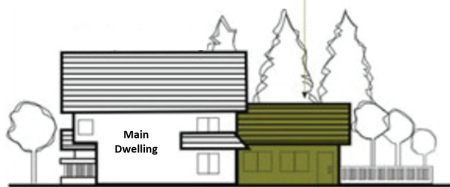
Accessory Unit on Upper Story within Main Dwelling



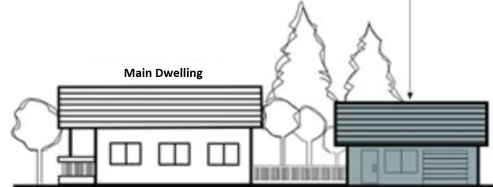
Accessory Unit as a basement apartment within Main Dwelling



Accessory Unit attached to Main Dwelling



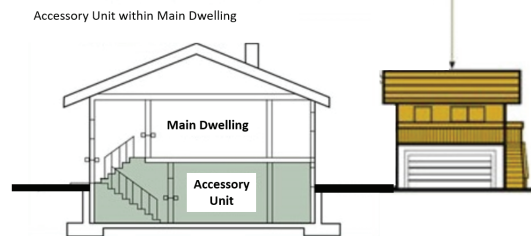
Accessory Unit within Detached Accessory Structure (with or without garage)



Accessory Unit above Detached Garage



Accessory Unit within detached Accessory Structure (above a garage or occupying entire structure)



Zoning By-law Requirements

- A second entrance cannot be created in the front wall of the home.
- In addition to the minimum of 2 parking spaces required for the main dwelling, one (1) additional parking space must be provided for every accessory dwelling unit. These can be provided in a garage, carport and/or a driveway and must be fully located on the private property.
- A parking space must be at least 2.7m (8.8ft) wide by 5.5m (18ft) long. All spaces must be free of any obstructions and remain available for vehicle parking year-round.
- There is a maximum driveway width restriction, which depends on the width of the property. This may impact the ability to provide the minimum number of spaces required on the property.
- Roadways and other public parking areas cannot be relied upon to accommodate private resident parking needs.
- For an ADU created in an accessory building, all zoning regulations for accessory buildings must be met, including location, lot coverage, setbacks and height requirements.
- If any regulations of the Zoning By-law cannot be met, a minor variance will be required.

Things to Consider

Accessory Dwelling Units within existing residential dwellings provide more rental units and affordable housing options within existing neighbourhoods. They also help with home ownership affordability for the main dwelling.

In addition to meeting Zoning regulations, ADU's must comply with the Ontario Building Code and the Ontario Fire Code. A Building Permit is required for any ADU and there are minimum Code requirements for:

- Minimum floor area sizes
- Window openings, doorway widths and ceiling heights
- Fire protection and separation
- Heating and ventilation
- Plumbing facilities
- Unit access and egress

All Accessory Dwelling Units must be connected to municipal water and sanitary services through the main dwelling, which is especially important for accessory dwelling units within detached buildings.