



MHBC
PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

TOWN OF ORANGEVILLE

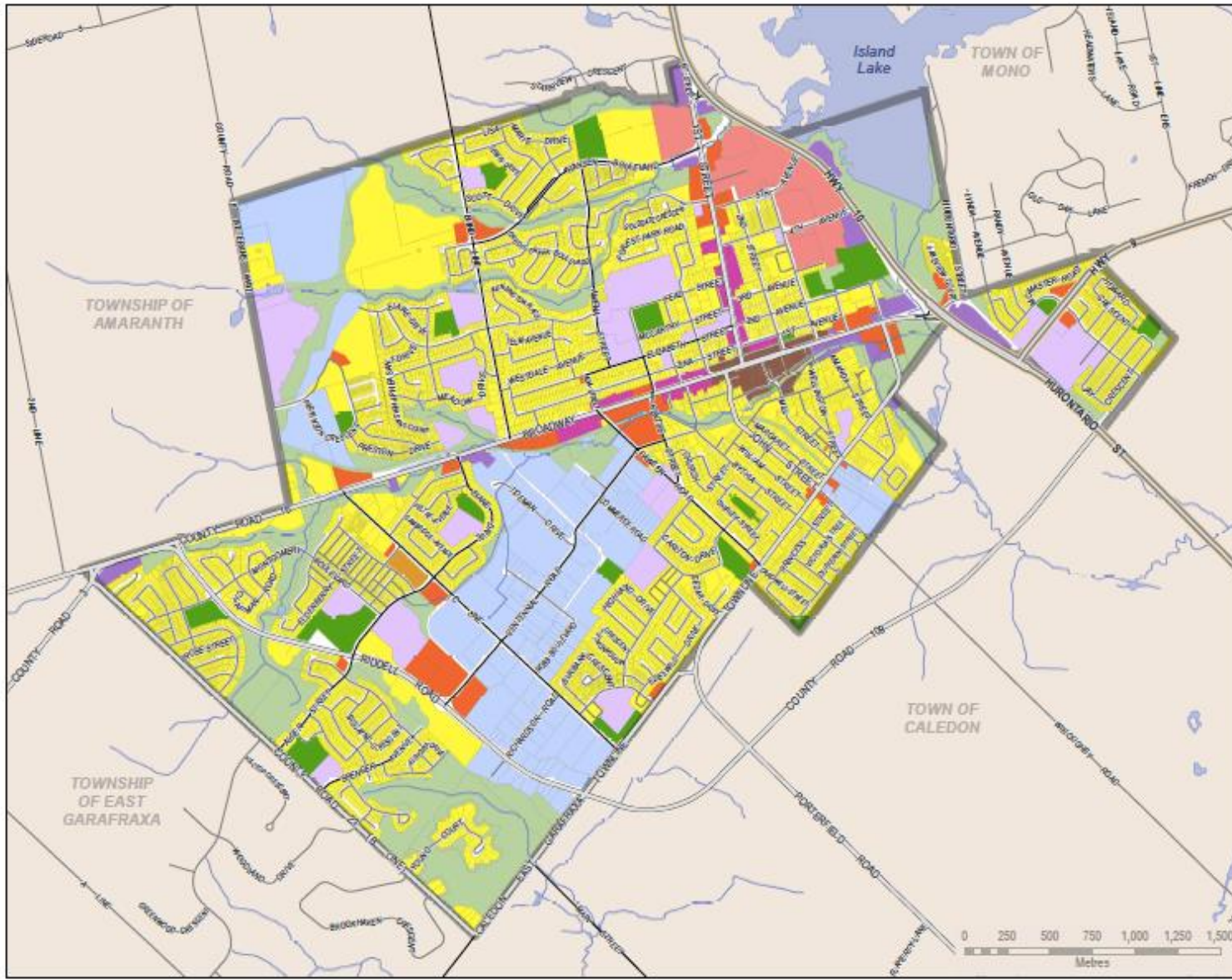
Official Plan Update
LAND NEEDS ASSESSMENT
Presentation For Council

January 18, 2016







Project Objectives

- Land Needs Assessment for Residential, Industrial, Commercial & Institutional lands to 2036
- Opportunities for residential intensification and infill development
- Review policy directions and options
- Provide direction for Official Plan Update

Schedule "A"
The Official Plan
of the
Orangeville Planning Area
Land Use Plan



Legend

-  Watercourse
-  Waterbody
-  Parcel
-  Town of Orangeville Planning Area
- Land Use Designation**
-  Residential
-  Central Business District
-  General Commercial
-  Neighbourhood Commercial
-  Restricted Commercial Residential
-  Service Commercial
-  Employment Area
-  Open Space Conservation
-  Open Space Recreation
-  Institutional
-  Neighbourhood Mixed Use



Office Consolidation Version
 The office consolidation version of this map schedule has been prepared for convenience purposes only. For accurate reference, recourse should be had to the original Official Plan and subsequent Official Plan amendments.



Date: September 2015

Schedule "B1"
 The Official Plan of The
 Orangeville Planning Area
 Built Boundary



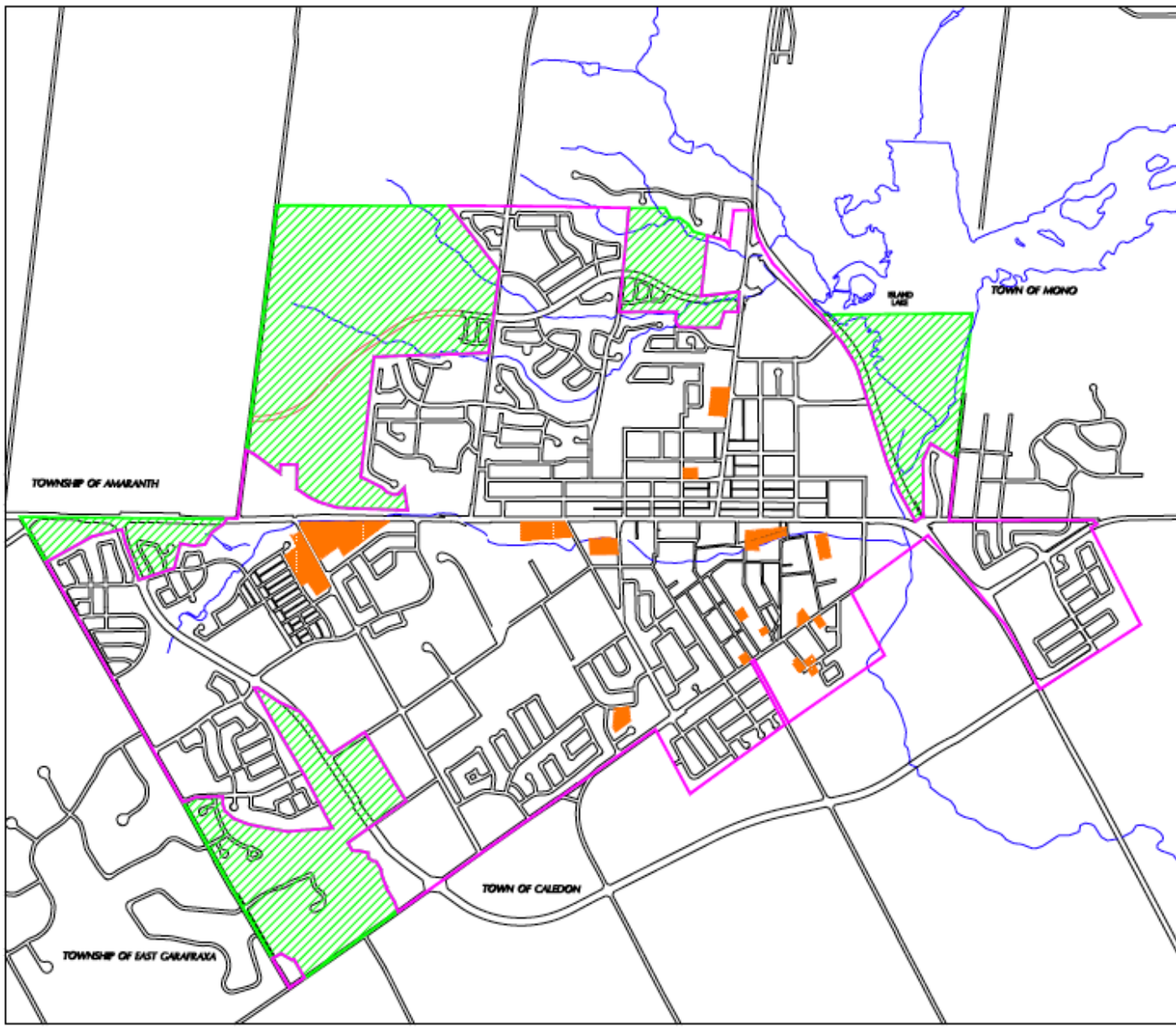
Legend

-  Built Boundary*
-  Intensification Areas
see Policy IT.11
-  Greenfield Areas*

Office Consolidation Version

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* as defined by the Ministry of Energy and Infrastructure, 2008



DATE: JULY 27/08
 DRAWING: OPA/EDWG
 REVISION: OPA/EDWG
 BLDWG

Population & Housing Projections

2015 (estimate)	29,540 ¹
2036	36,490 ² (build-out)
Growth to build out	6,950 persons about 3600 units
Intensification target	50 % - 1800 units ³

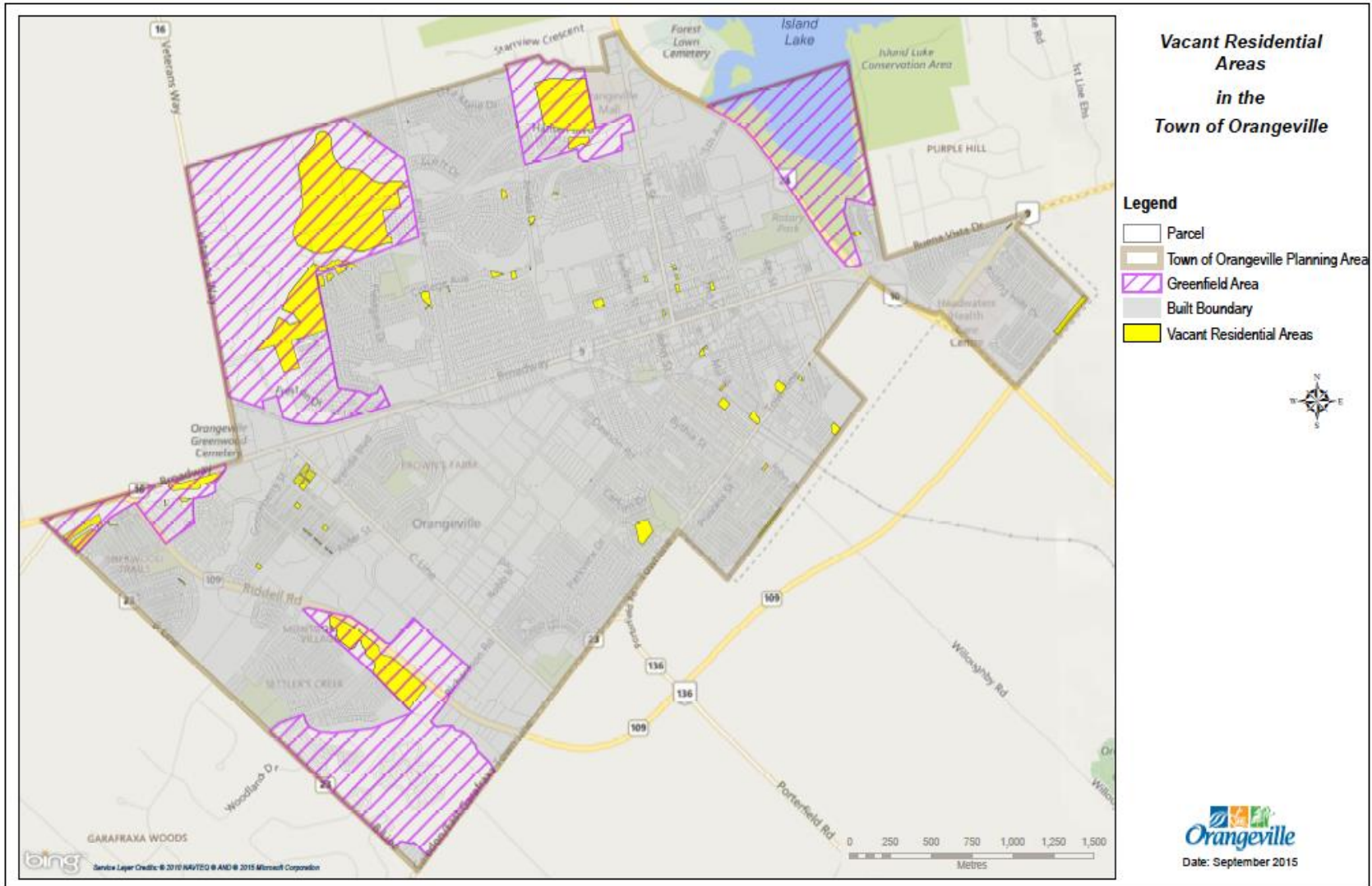
- 1 Watson DC Study plus 2014 building permit data
- 2 County OP/ Watson DC Study
- 3 County OP

Residential Land Area and Unit Demand

Density (UPH)	Gross Area Required (ha)	Proposed Intensification Factor*	Units Produced by Intensification	Net Area Required (ha)
Singles/Semis: 25	50	10 %	180	43
Townhouses : 49-99	26	60%	1080	15
Multiple Dwellings/ Apartments: 124	9	30%	540	4
Total	82 ha	100%	1800	62 ha
Net Area Required After Intensification	62 ha			

* Totals may not add due to rounding.

Vacant Designated Residential Land



Residential Land Supply and Demand

Gross Vacant Land Area Supply	71.8 ha
Within Built Boundary	7.5 ha
Within Greenfield Areas	64.3 ha
Net Area Required after intensification	62 ha

Industrial, Commercial and Institutional Land (ICI) and Building Demand Forecast

Orangeville (Watson DC Study 2014)

Type	Growth of Jobs	Future Jobs	Building Area/ Job sq m	Building Area Required (sq m)
Industrial	61%	531	110	58,377.0
Commercial	30%	261	55	14,355.0
Institutional	9%	78	65	50,89.5
Work at Home	N/A	N/A	N/A	N/A
Total	100	870		77,822.0

Note: County Plan assigns 59 new jobs to Orangeville to 2036

Industrial, Commercial and Institutional Land (ICI) Area Demand Forecast

Type	Future Jobs	Building Area Required (sq m)	Land Area (ha)	
			MHBC ¹	DC Study ²
Industrial	531	58,377.0	11.5	14.6
Commercial	261	14,355.0	5.7	3.6
Institutional	78	50,89.5	1.7	1.3
Work at Home	N/A			
Total	870	77,822.0	19	19

1 - based on 46 jobs/ha

2 - based on building/land area

* Totals may not add due to rounding.

Employment Lands Targets in GTA

City/Town	Jobs	Population	Ratio	Year
Town of Caledon	46,000	108,000	1:2.35	2031
Town of Halton Hills	29,410	70,000	1:2.38	2021
Town of Aurora	34,200	70,200	1:2.05	2031
Town of East Gwillimbury	34,000	86,500	1:2.54	2031
City of Niagara Falls	53,640	106,800	1:2.00	2031

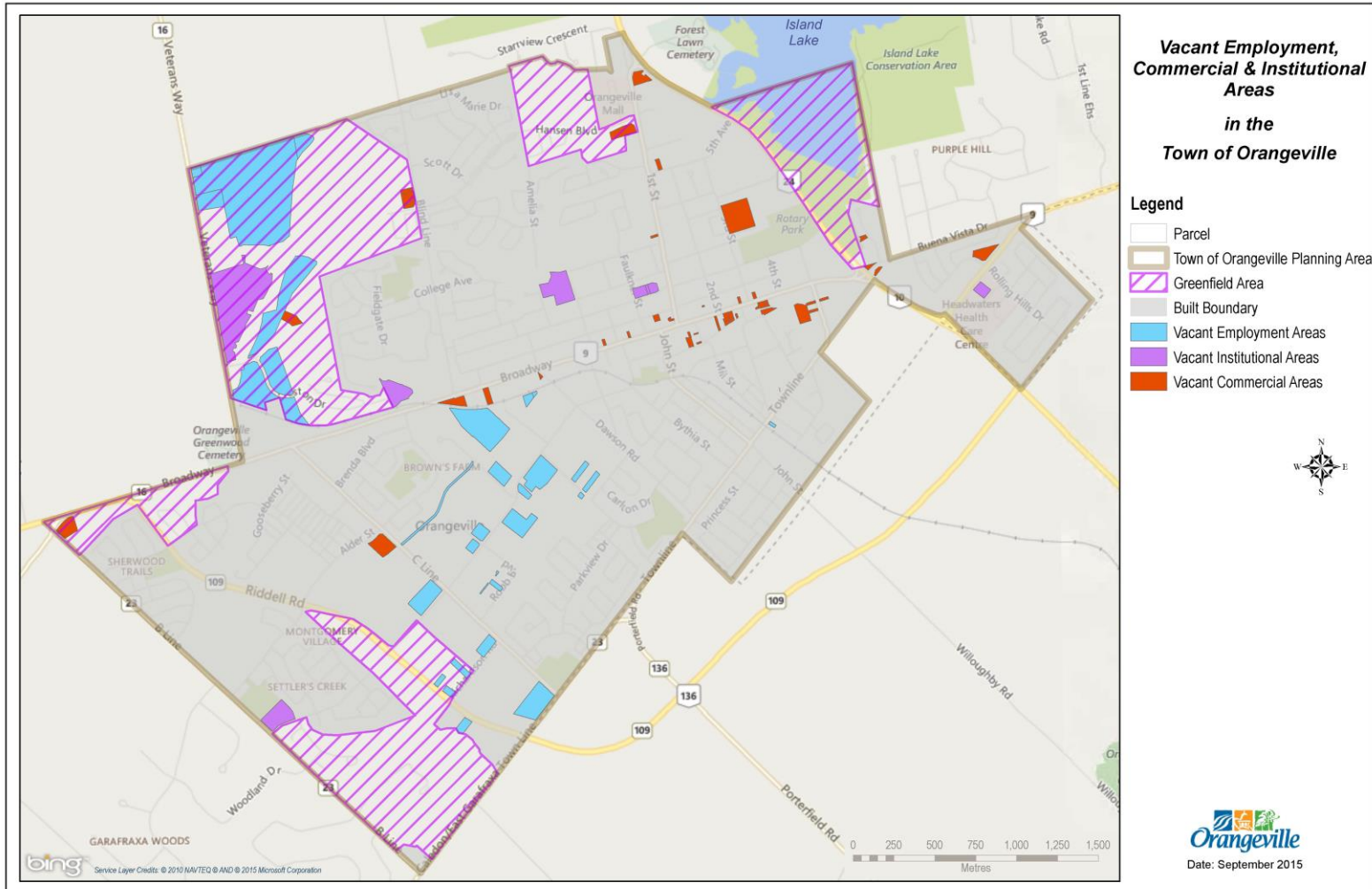
The Town currently has a population of 27,975 and employment of 14,681 which is a ratio of 1:2. A population increase of 6950 with a 1:2 ratio would mean 3475 new jobs.

Proposed Industrial, Commercial and Institutional Land (ICI) Target of 1:2

Type	Future Jobs ¹	New jobs	Land Area (ha) ²
Industrial	61 %	2120	46.0
Commercial	30 %	1043	22.5
Institutional	9 %	313	6.7
Work at Home	N/A		
Total	100	3475	75.5
1 – Watson DC Study 2014 2 – based on 46 jobs/ha			

*Totals may not add due to rounding.

Vacant Designated Industrial, Commercial and Institutional Land



ICI – Supply and Demand

Type	Land Demand (ha)		Land Supply (ha)		Total
	Target ¹	Forecast ²	Within Built Boundary	Within Greenfield Areas	
Industrial	46	14.6	20.9	46.8	67.7
Commercial	22.5	6.8	10.0	3.6	13.6
Institutional	6.7	1.7	8.0	12.0	20
Total	75.5	23.1	39.0	62.4	101.4

¹ based on target of 1 job for every 2 persons.

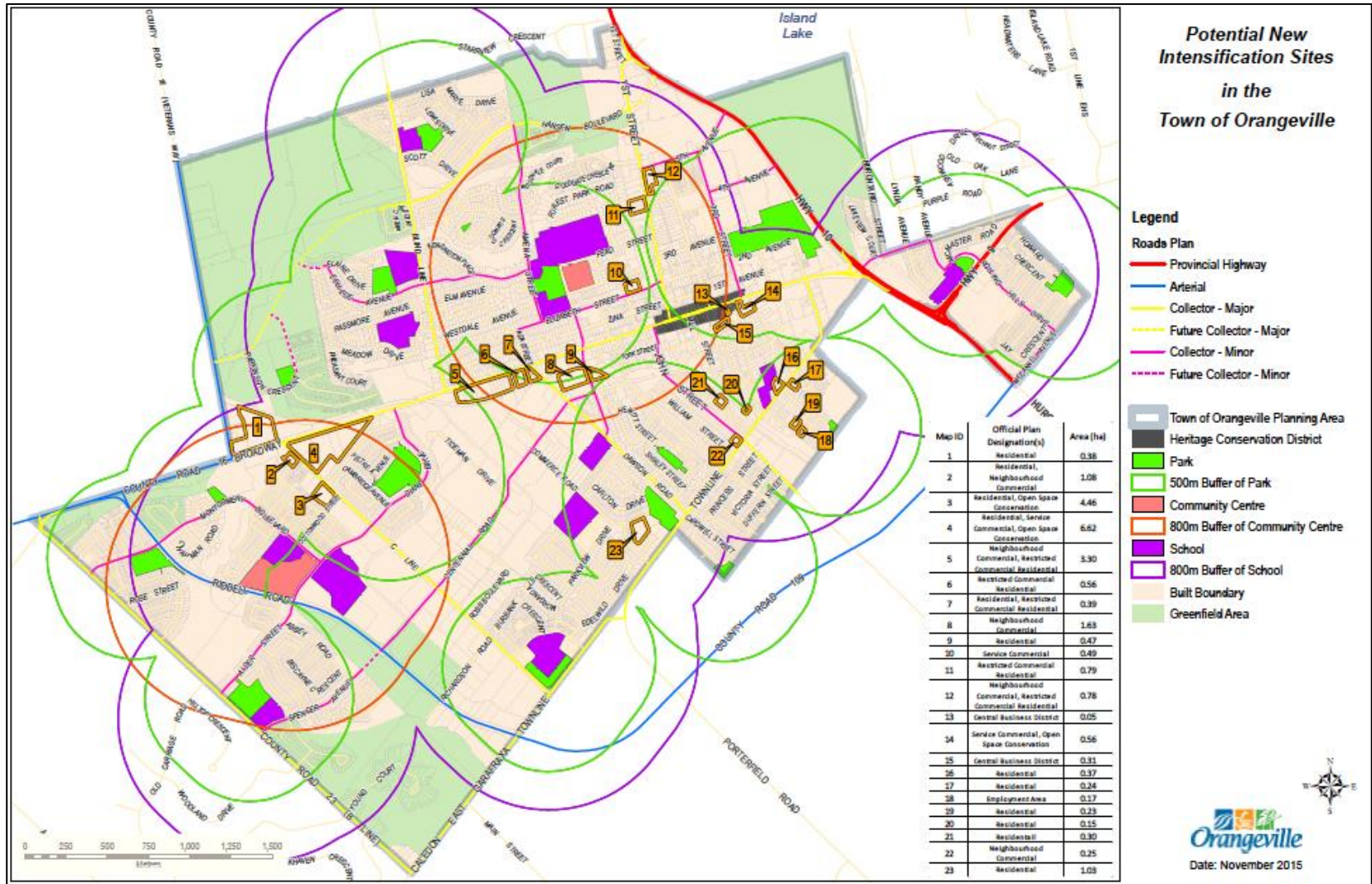
² based on highest forecast from MHBC, Watson and urbanMetrics

*Totals may not add due to rounding.

Conclusions – Supply and Demand

- There is sufficient supply of residential land to meet the residential growth targets to build-out.
- The Town should establish a population to employment target ratio of 1 job for each 2 persons.
- There is no need to designate additional lands to meet population and employment Growth Targets.

Residential Intensification



Intensification Analysis

- Examined 45 potential properties
 - 30 currently identified in Official Plan
- Locational criteria
 - 500m Proximity to Open Space
 - 100m Proximity to Transit
 - 800m Proximity to Schools
 - 500m Proximity to Commercial Amenities
 - 100m Proximity to Rail
 - Proximity to Heritage Special Study Area
- Reviewed each site on site
- Assigned density to reflect surrounding character



Assessment of Intensification Opportunities

- Examined 30 sites including existing designated sites and assessed based on criteria
- Applied density yields to reflect Official Plan policy and surrounding land uses and density
- Estimate that approximately 1121 units could be developed through intensification within the Built Boundary

Conclusions – Intensification

There are suitable sites for approximately 1121 units within the ‘Built Boundary’ in Orangeville.

It will be very difficult to achieve an intensification target of 50 per cent while preserving the character of the ‘Built-up Area’ in Orangeville.

High priority Intensification Areas should be shown in the Official Plan with policies strongly supporting intensification in those areas.

Intensification within existing units (secondary units) needs to be reflected in Official Plan policy to meet the target of 1800 units within the Built Boundary.

RECOMMENDATIONS

Recommendation 1:

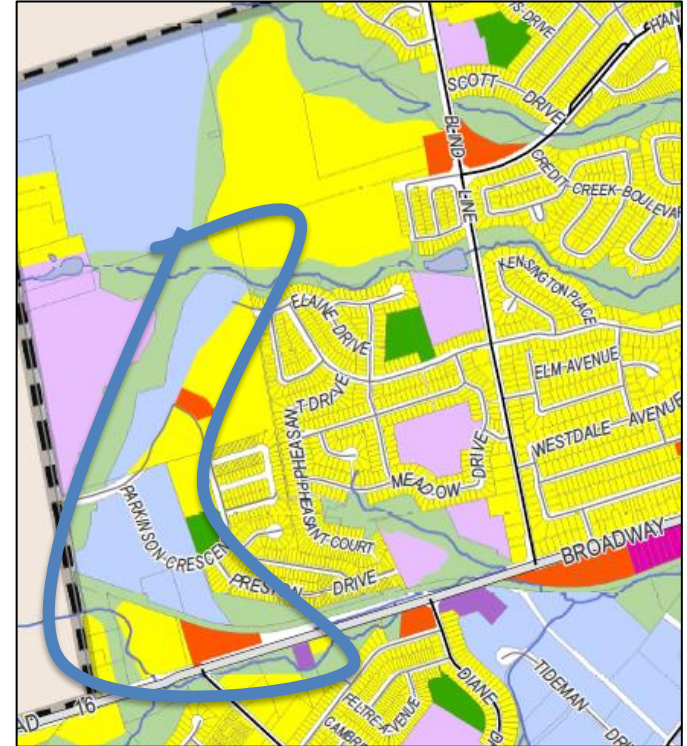
Establish an Official Plan policy target of one job for each two persons of growth.

Plan for growth of 6950 persons and 3475 jobs to 2031 or 'Build Out'.

Recommendation 2:

Protect the most attractive Employment lands.

Conversion of readily serviced Employment lands to residential or commercial uses should not be considered.



Recommendation 3:

Consider limited Employment land conversion within the Built Boundary only to achieve Provincial and County residential intensification targets (two properties identified for intensification).

Recommendation 4:

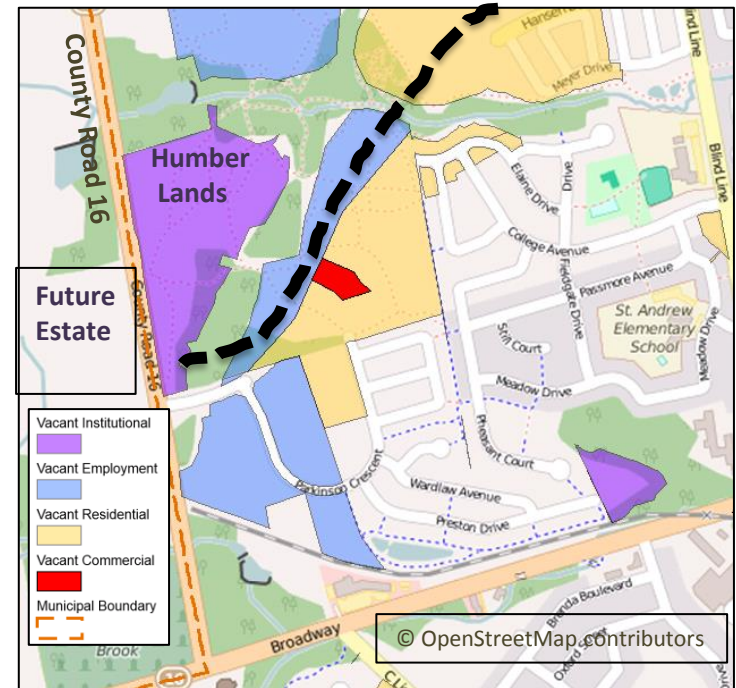
Encourage mixed use development on older commercial lands as reviewed through intensification analysis.



Recommendation 5: Two Options for the Humber Lands

Option 1: Maintain Existing designation for Institutional, to allow for specialized residential development.

Option 2: Redesignate to allow for Mixed Use development for Prestige Industrial uses adjacent to Veteran's Way, and a Master Planned residential community designed to accommodate seniors.



Recommendation 6:

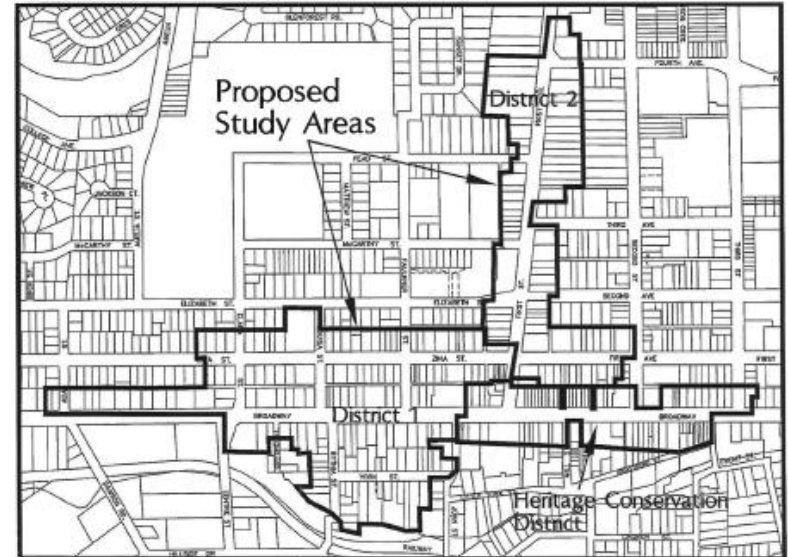
Enhance Intensification Area policies with Priority Intensification Area designations and policies – change is expected in these areas.

Recommendation 7:

Create a Stable Neighbourhood Area designation – limited change, Intensification in existing structures.

Recommendation 8:

Consider incentives for intensified units through bonusing or Community Improvement – increase in height and density, reduced parking, etc.



Recommendation 9:

Amend the Town's Sewage Allocation Policy to balance allocation of capacity for Greenfield and built-up areas of the Town.



Next Steps

Prepare draft Official Plan Update Amendment	
January 28	Public Workshop
February 8	Statutory Open House
February 22	Steering Committee Meeting
March 7	Special Meeting of Council
March 21	Statutory Public Meeting (tentative)



Thank you



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Orangeville Official Plan Update